



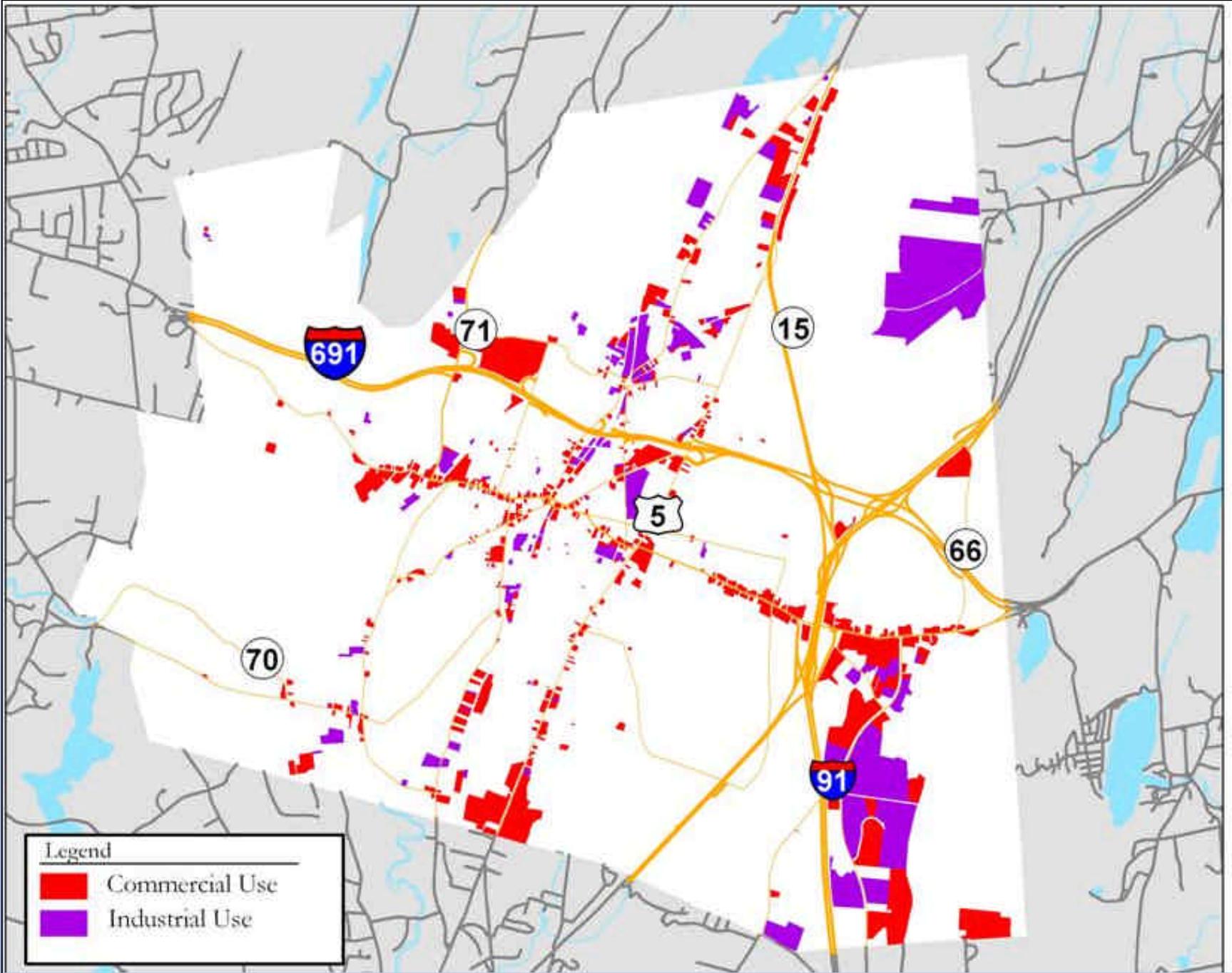
City of Meriden Plan of Conservation And Development



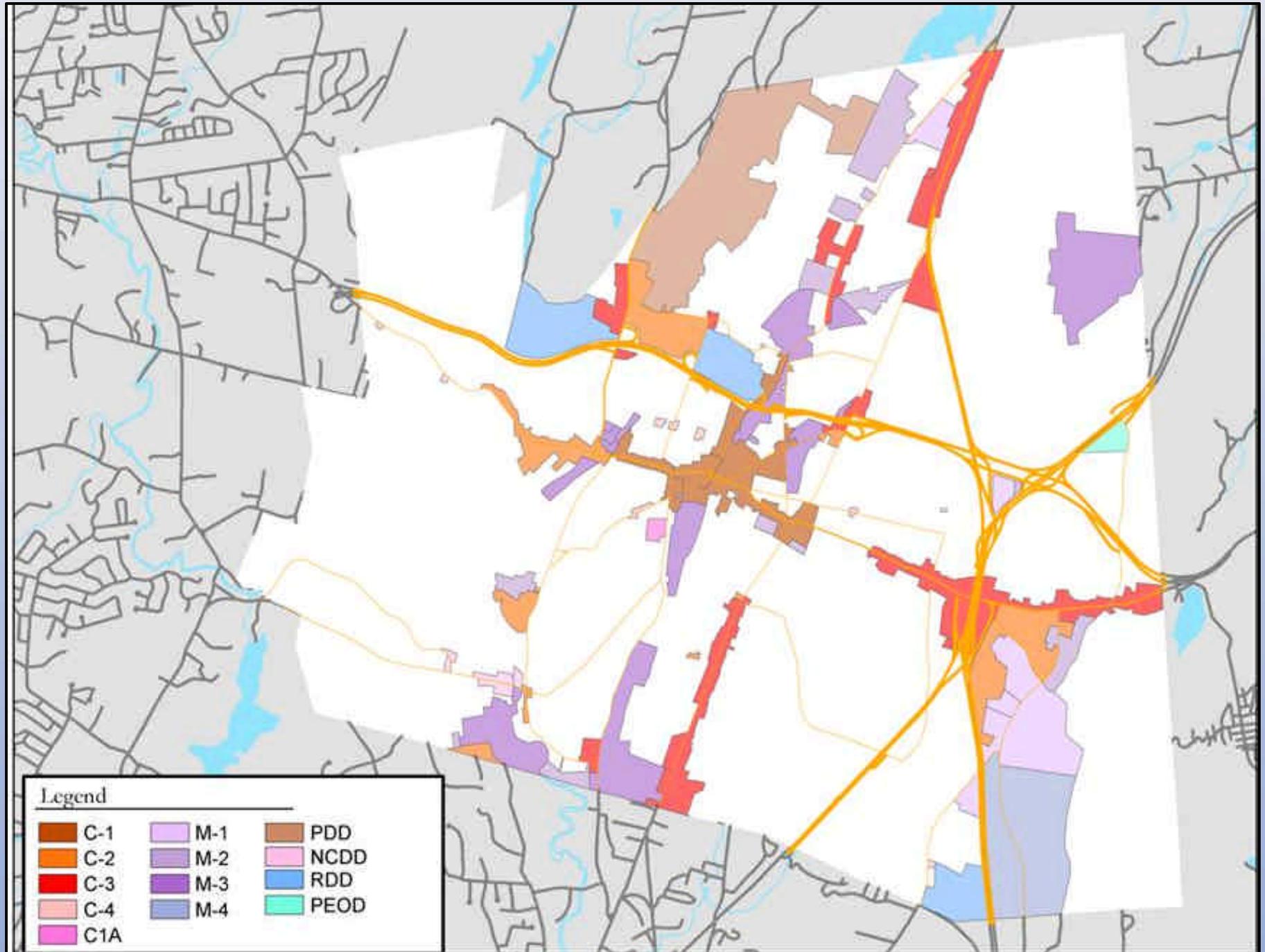
**Planning For
Meriden's Future**

Commercial & Industrial Uses

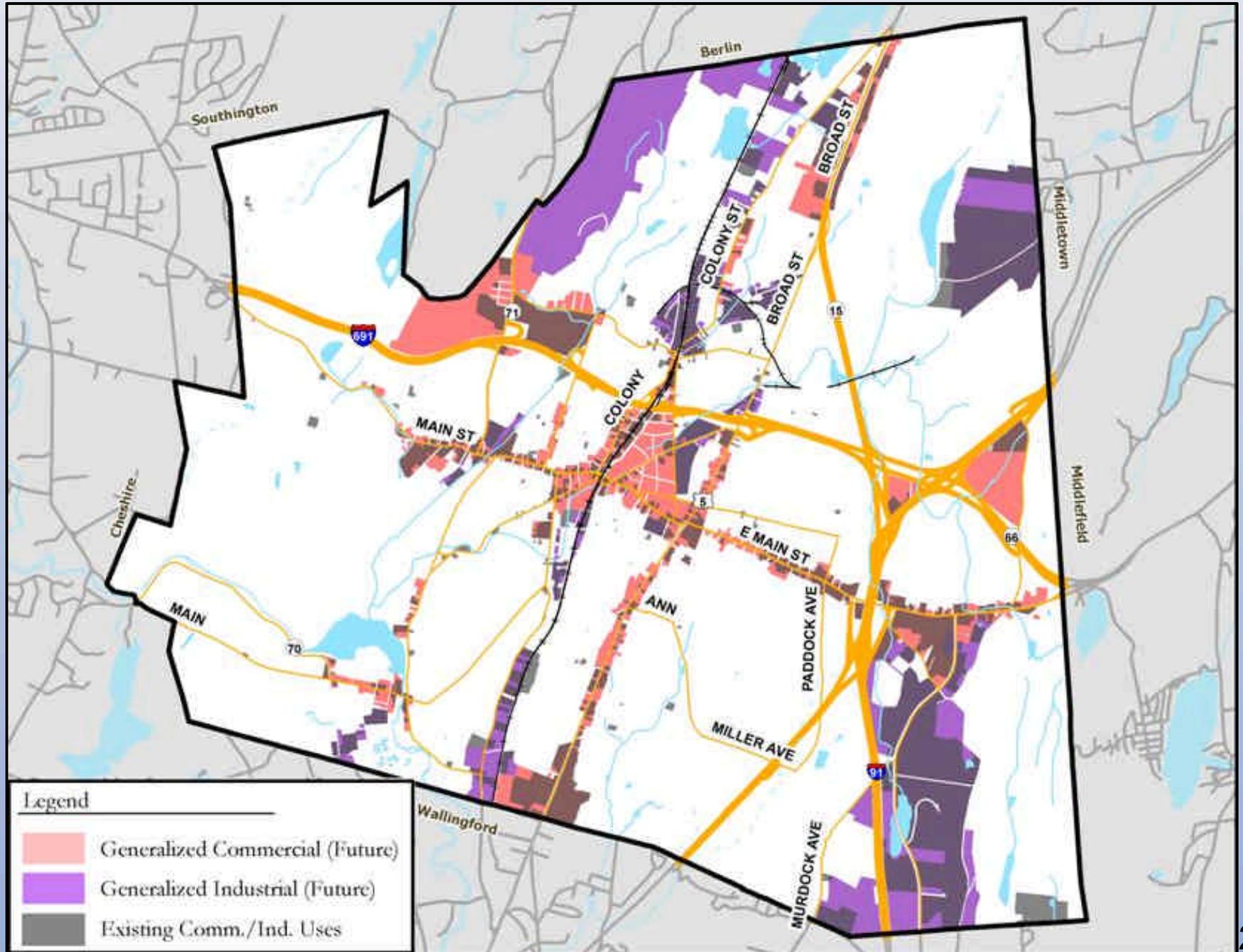
Generalized Existing Commercial & Industrial Lands



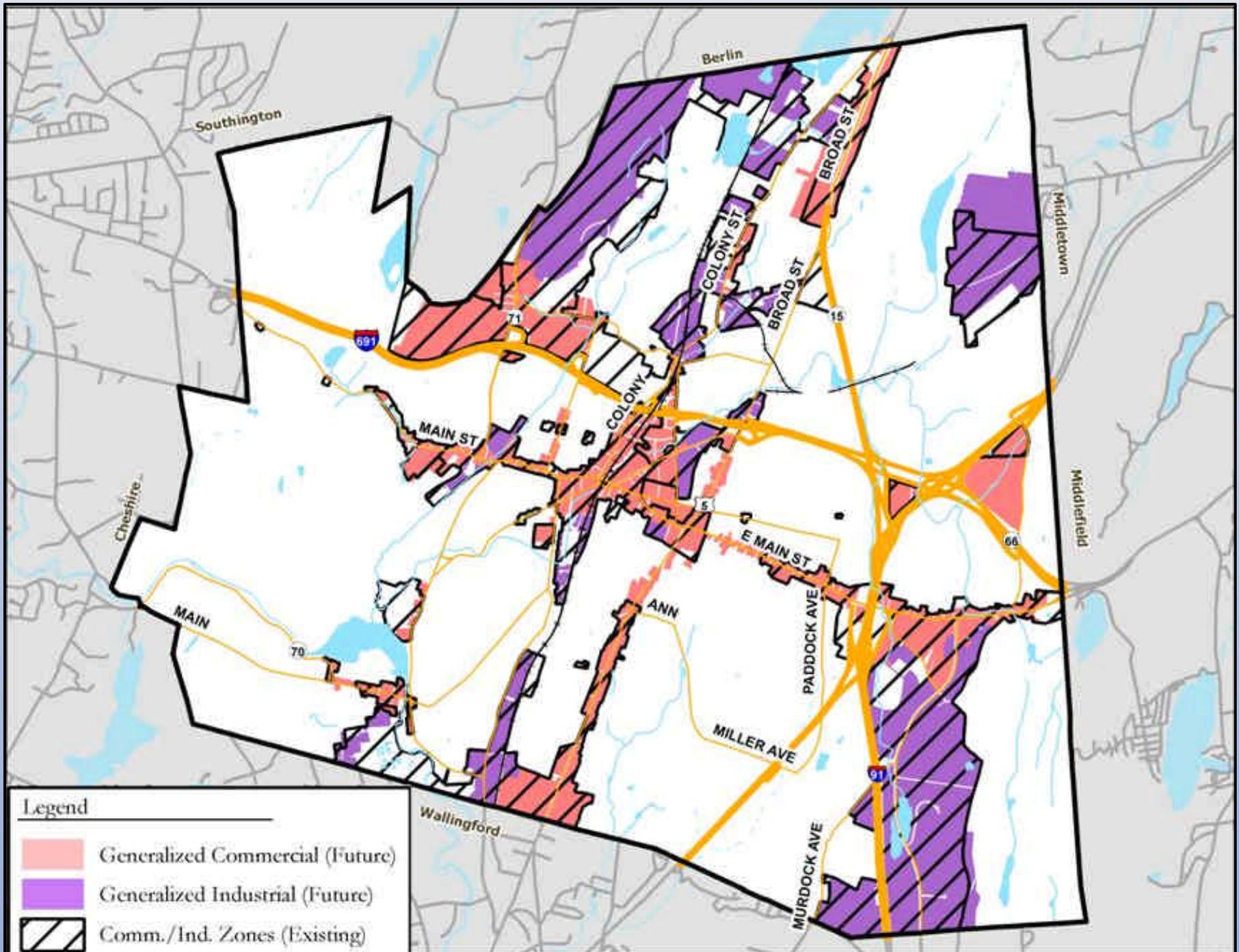
Commercially Zoned Land



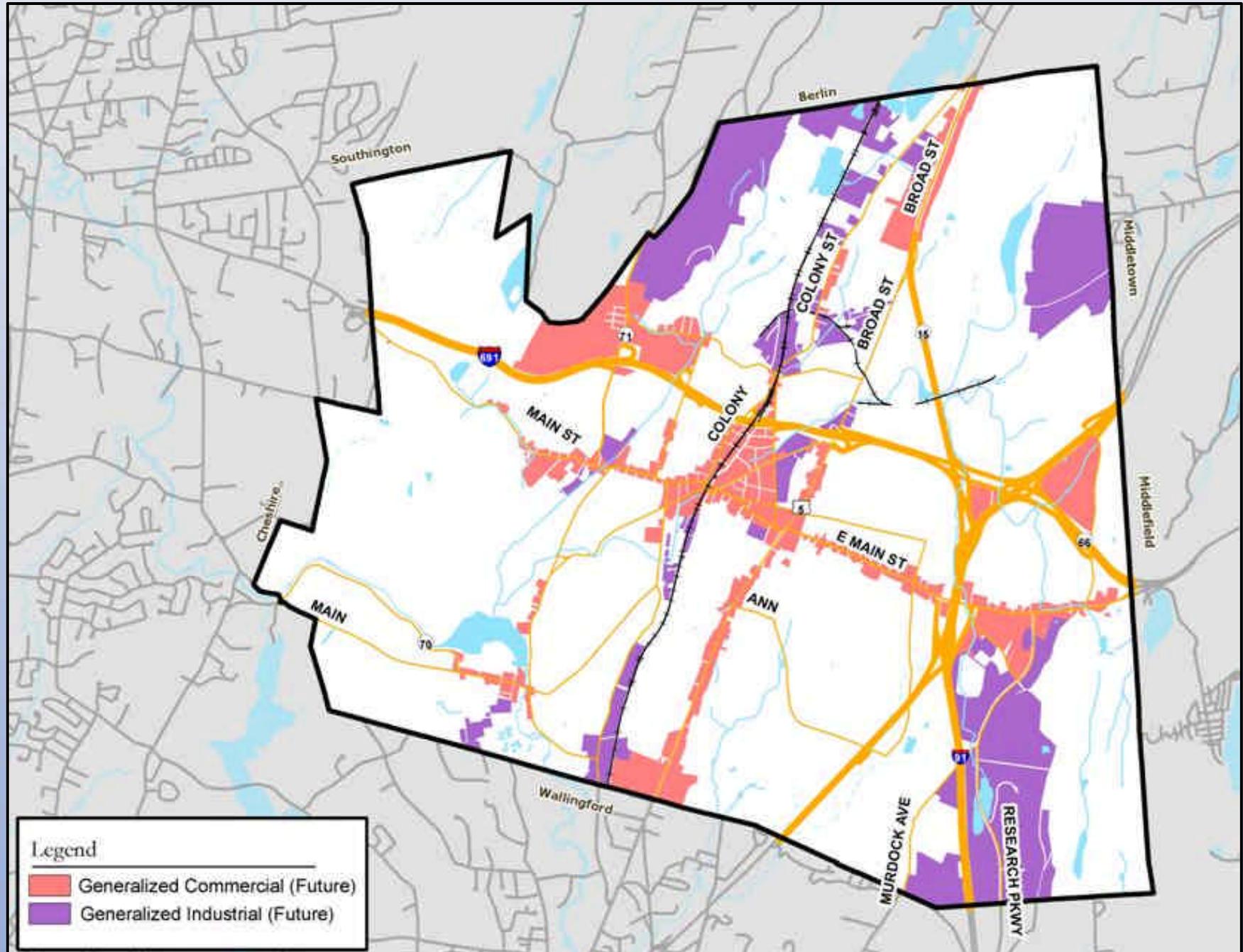
Existing Land Use & Future Land Use Overlay



Future Land Use & Zoning Overlay



Generalized Commercial & Industrial Future Land Use





City of Meriden

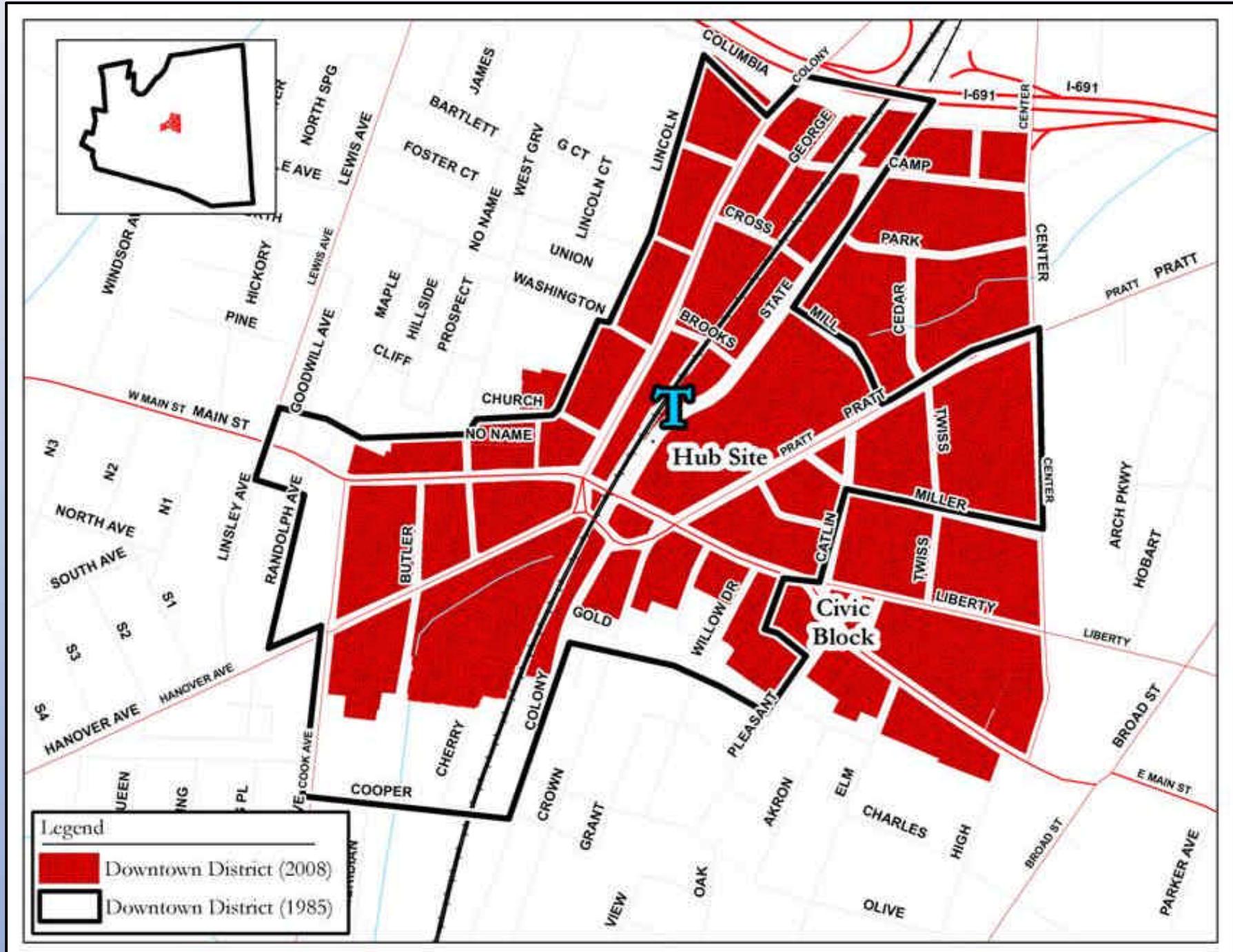
Plan of Conservation And Development

Downtown District

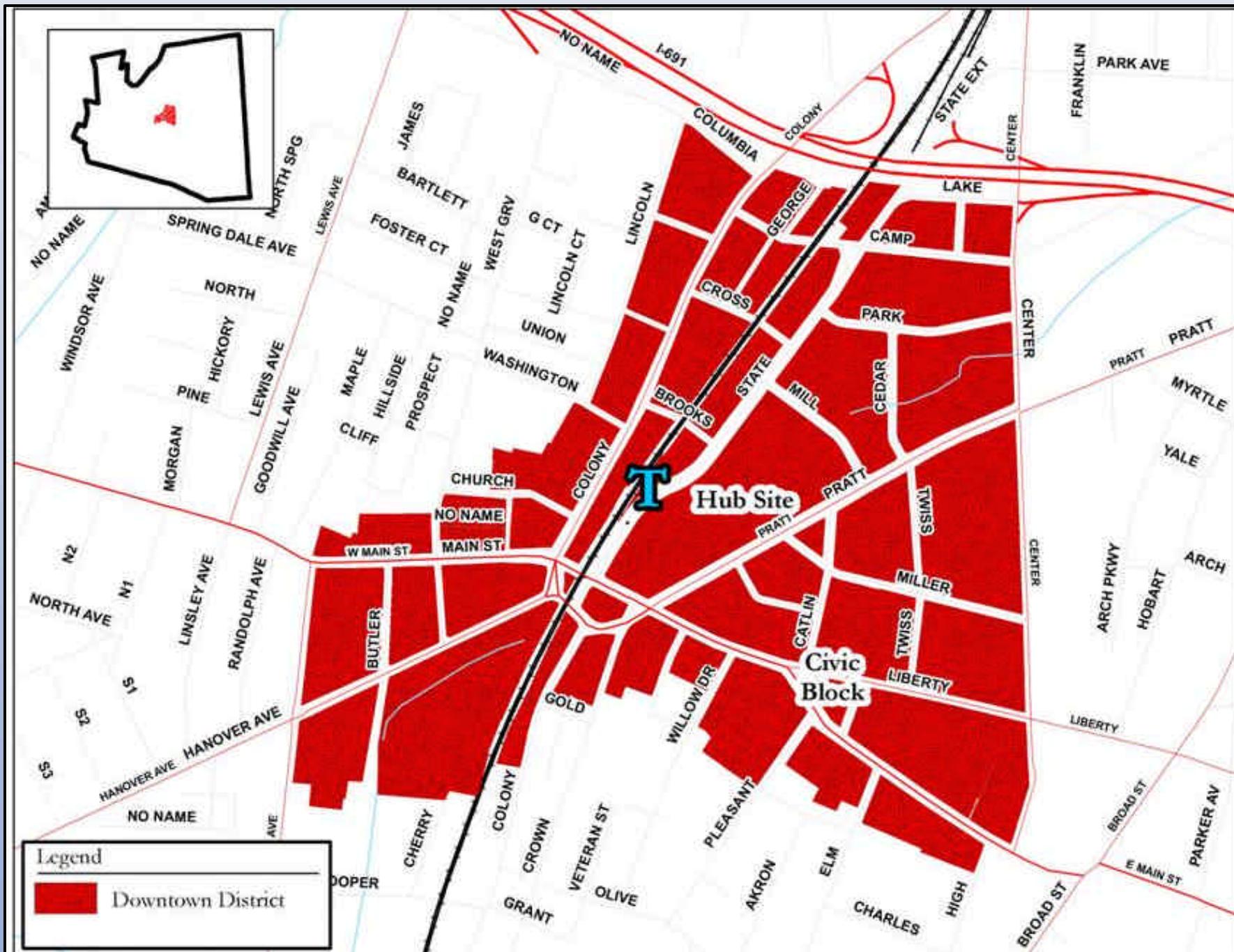
- Core of Downtown Dist. includes Downtown, "Municipal Complex", Transportation Center, & Hub Site.
- Envisioned as Transit-Oriented Area, centered around the redeveloped Hub Site & an enhanced multi-modal transportation facility at the adjacent railroad station.
- Future Land Uses at an appropriate scale, ground floor retail & office space coupled with high quality residential units on upper floors.
- Improvement of linkages to surrounding neighborhoods.
- Enhancement of physical environment through improvements in landscape & streetscape, urban design elements, façades, & traffic circulation.
- Existing zoning is C-1, M-3, & R-4.



Downtown District Boundary & Overlay



Downtown District Boundary





City of Meriden

Plan of Conservation And Development

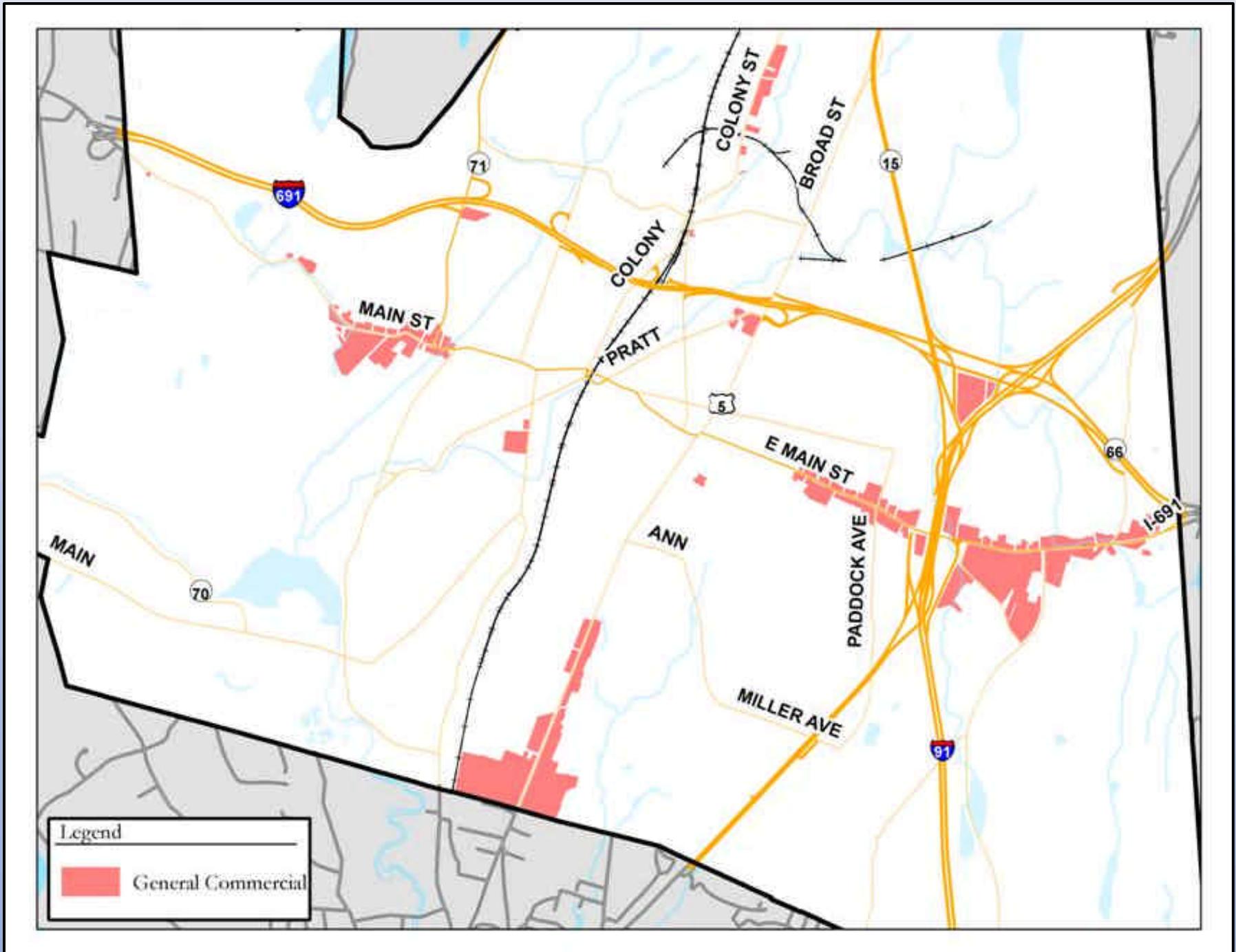
City Shopping Center & General Commercial

- Areas in Meriden that accommodate general commercial, retail, office, & service sectors.
- Key issues in this district include:
 - mitigating conflicts between commercial uses & adjacent residential neighborhoods;
 - addressing traffic & circulation issues;
 - encouraging re-investment in building stock.



Planning For
Meriden's Future

City Shopping Center & General Commercial (Future Land Use)





City of Meriden

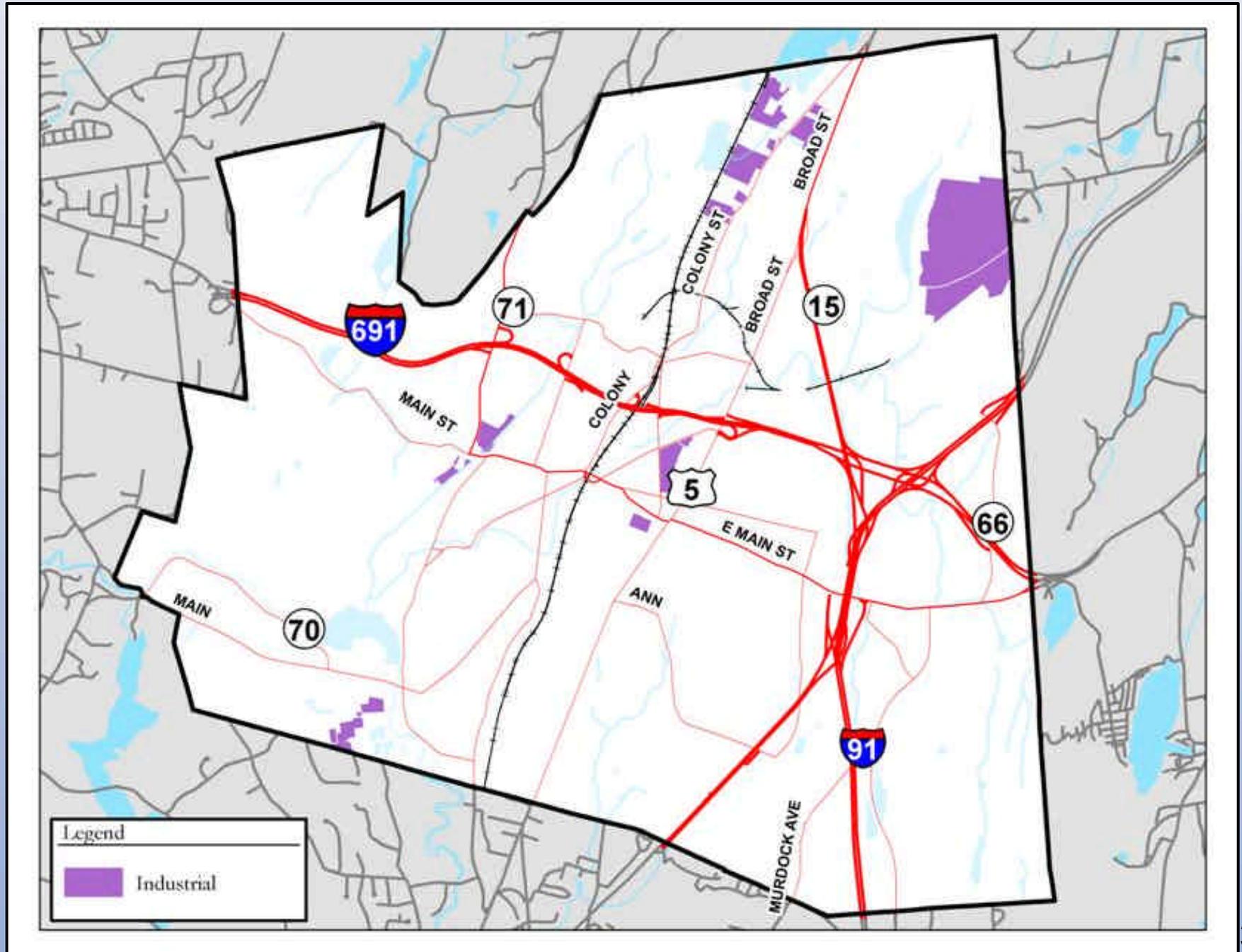
Plan of Conservation And Development

Industrial

- Intended for areas where a variety of manufacturing, fabrication, distribution & warehousing uses are appropriate.
- This designation generally reflects the current manufacturing usage of the land in Meriden.



Industrial (Future Land Use)





City of Meriden

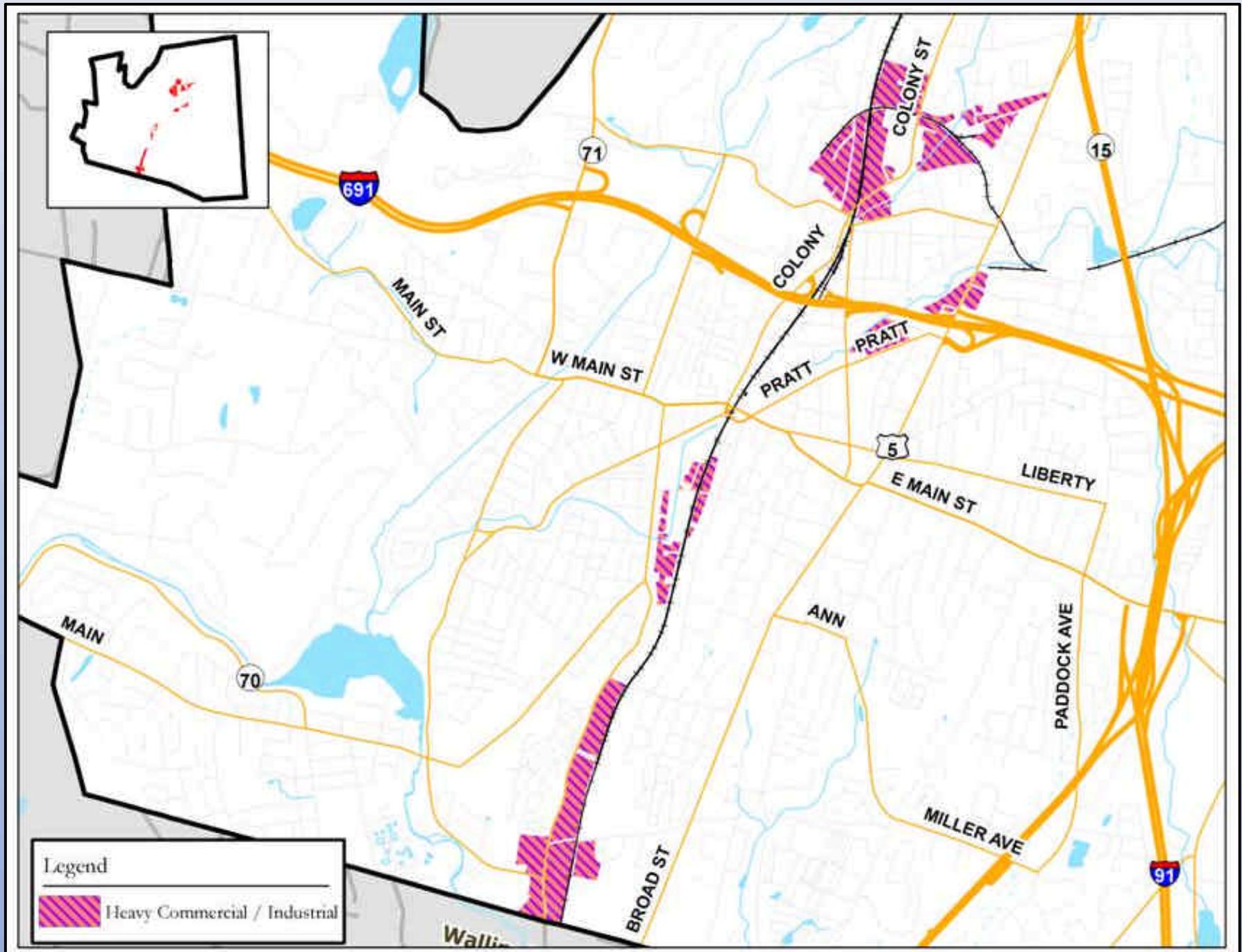
Plan of Conservation And Development

Heavy Commercial / Industrial

- Encompasses different heavy commercial & industrial uses either in combination or on separate properties, including light industrial, manufacturing, warehousing & storage, automotive businesses, construction contractors, & wholesale/distribution businesses.
- Presently these areas are predominately zoned M-3 & C-3



Heavy Commercial/Industrial (Future Land Use)





City of Meriden

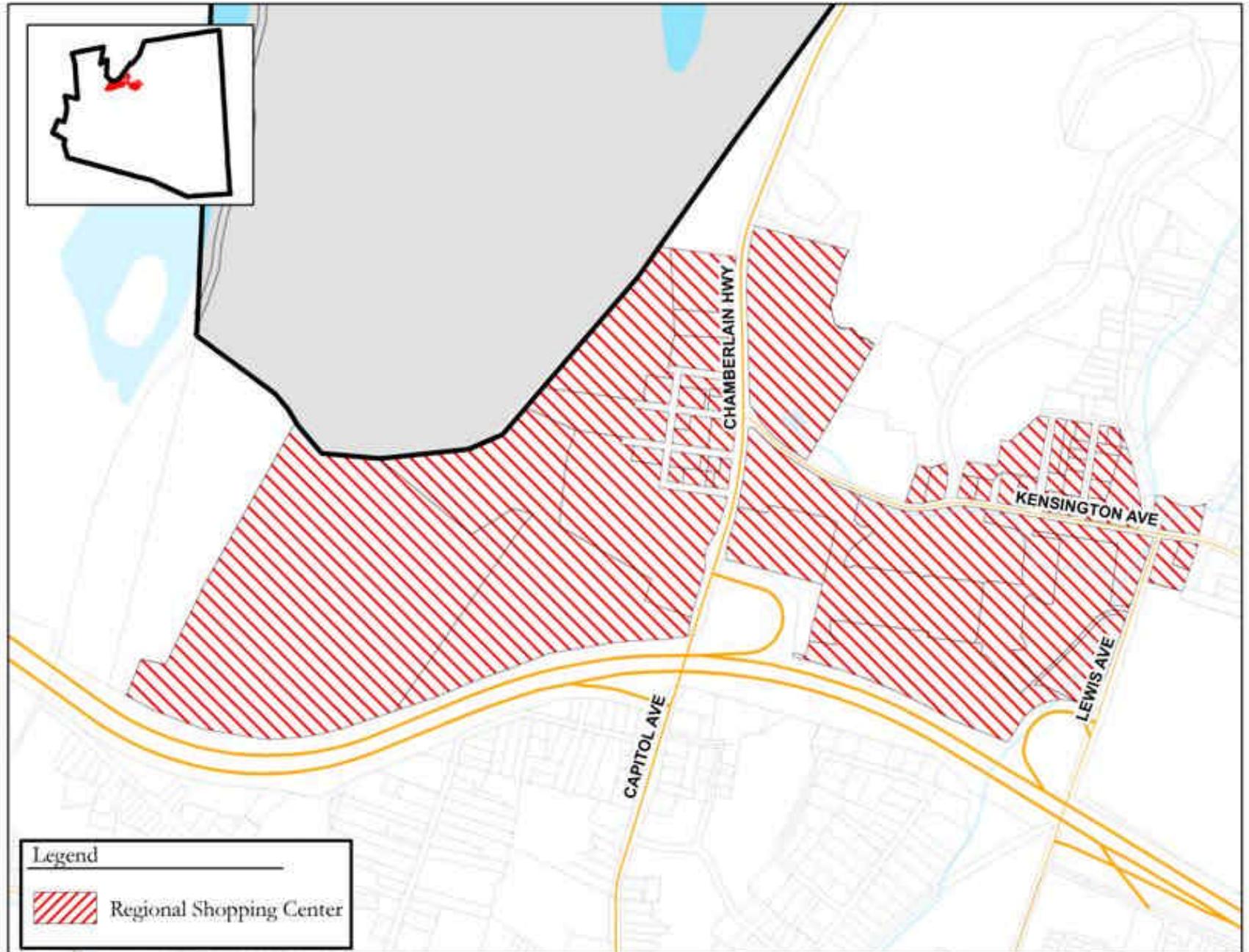
Plan of Conservation And Development

Regional Shopping Center District

- Regional shopping - includes Westfield Meriden Mall, Undercliff property, & numerous properties along Chamberlain Hwy & Kensington Ave.
- One of the highest tax-generating areas in the City with a focus on commercial development of a size & scope that is regionally-oriented in nature.
- Proposed designation is in keeping with the previously completed Kensington Ave / Chamberlain Hwy Corridor Study.



Regional Shopping Center (Future Land Use)





City of Meriden

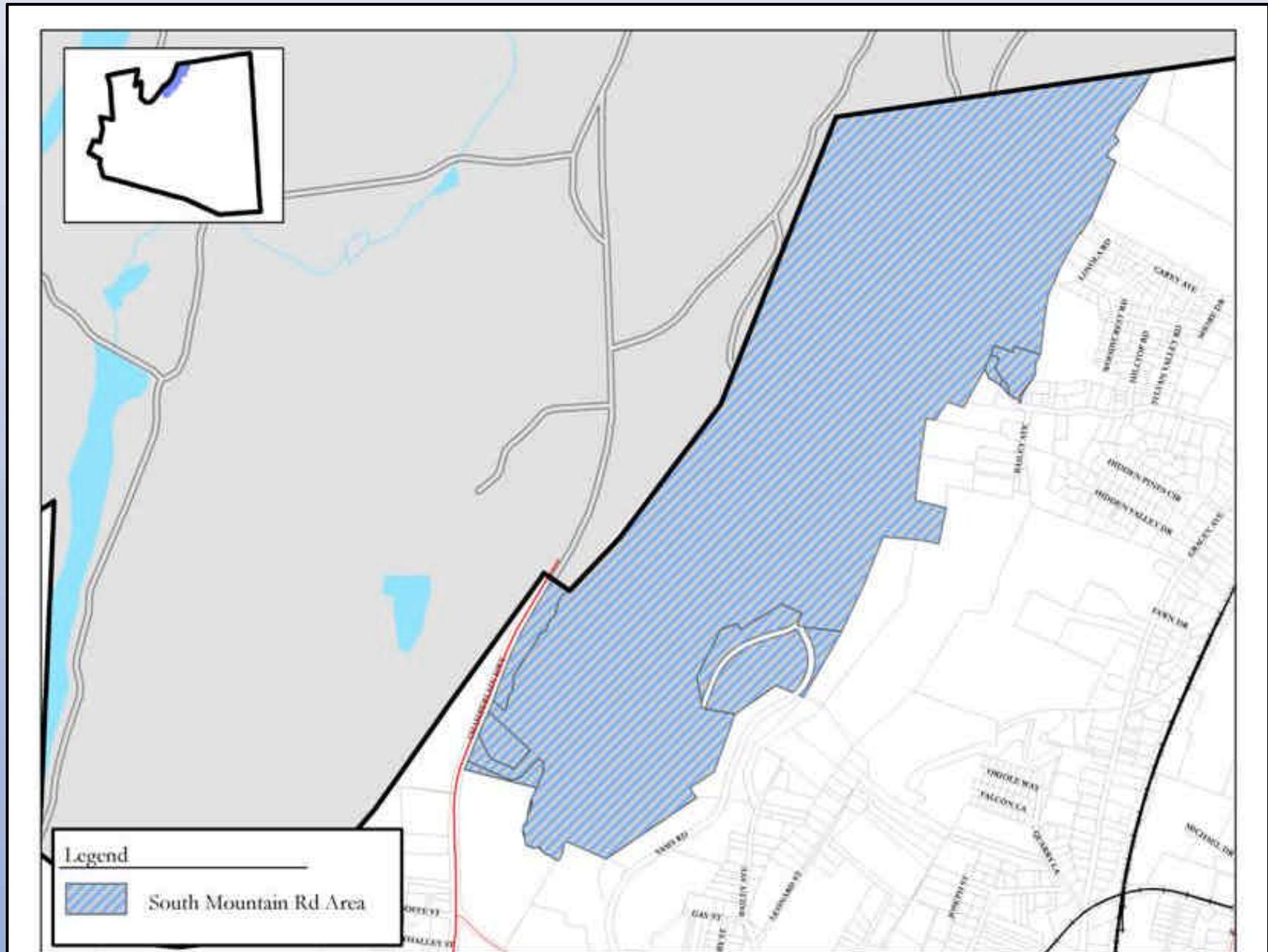
Plan of Conservation And Development

South Mountain Road Mixed Use District

- Envisions a mix of uses (light industrial, office, residential, open space) that generate economic benefits including residential development of an appropriate scale in a development pattern that maximizes the retention of undisturbed open space & natural resources.
- Includes the former NRG property with the exception of the generating plant itself.
- City ownership of most of the land along with the size (approx. 320 acres) & topography of the area make it unique.



South Mountain Road Area (Future Land Use)





City of Meriden

Plan of Conservation And Development

Research Parkway Development District

- Intended to continue to build on the success of the Research Parkway designation that was identified in the 1985 POCD.
- Area was expanded to now include developable parcels to the west on I-91.
- Provides the City with appropriate locations & quantities of office/research facilities in the City.



Research Parkway District (Future Land Use)

